




**Basement Development Specifications for:**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Legal Land Location: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Contractor: \_\_\_\_\_

Permit # \_\_\_\_\_  
Town  of Rosthern  
Date: \_\_\_\_\_

Wagner Inspection  
Services  
Contact Dale  
@  
225-2265/241-4741  
wagnerdp@sasktel.net

**Specifications**

**Health & Safety**

Electrical: GFI (Ground Fault Interrupter) in bathroom: \_\_\_\_\_  
Bathroom venting: Yes \_\_\_\_\_ No \_\_\_\_\_  
Smoke Alarms interconnected with other floors above:  
Yes \_\_\_\_\_ No \_\_\_\_\_  
(Smoke alarms are required to be no more than 5m (16' 5")  
from bedroom doors and 15m (49') to any point on the floor level)

**Walls**

Type, method & spacing of anchoring: \_\_\_\_\_  
Wall Height: \_\_\_\_\_  
Insulation & barrier: \_\_\_\_\_  
(Envelope the wall from grade on the foundation side,  
down to bottom plate, then up to joists on interior side; Example 2, Page 3)

Inside finish: \_\_\_\_\_  
Windows \_\_\_\_\_  
(For bedrooms windows are to be sized as per  
Examples 1, Page 2 for egress in case of a fire)

**Ceiling**

Type: Suspended \_\_\_\_\_ Gyproc: \_\_\_\_\_  
Other: \_\_\_\_\_  
Insulation & barrier along joist perimeter: \_\_\_\_\_

**Other**

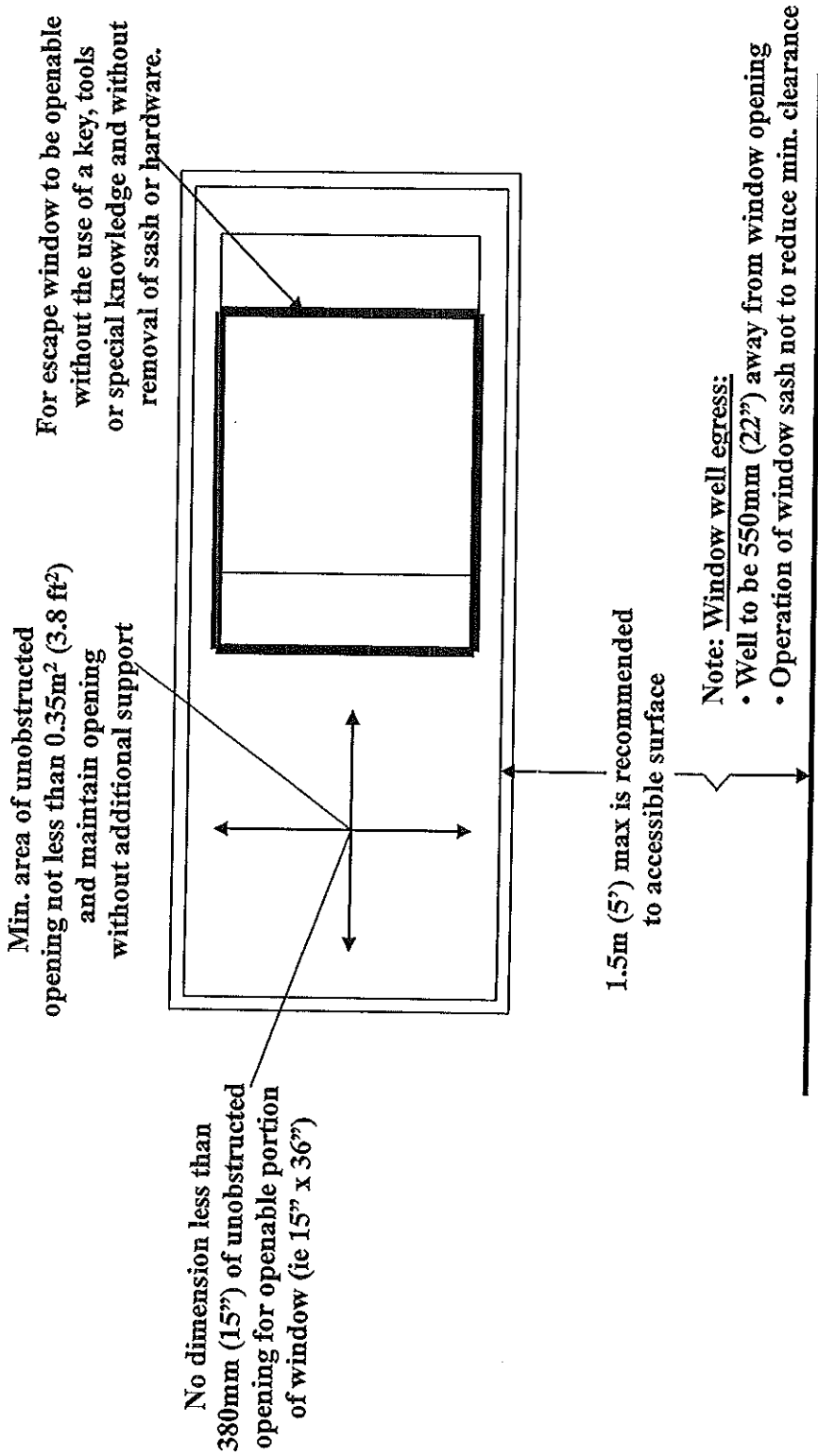
Fireplace: None \_\_\_\_\_ Gas: \_\_\_\_\_  
Electric: \_\_\_\_\_ Wood: \_\_\_\_\_  
(Provide fireplace manufacture's installation  
and combustion air source specifications)

Provide a return air to the furnace for the basement.

Sketch of development on the reverse side  
or attach it



### Window requirements for bedrooms in a basement development - Example 1

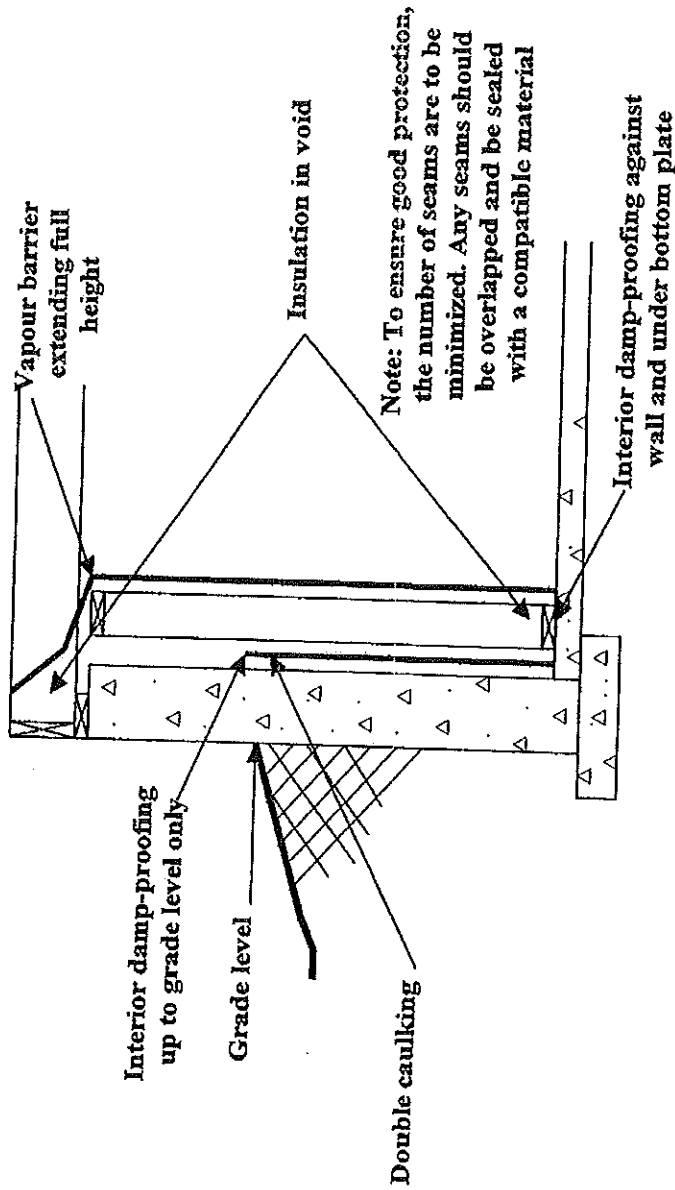


# For builder's information only

<p>Wagner Inspection Services Contact Dale 225-2265 / 241-4741 wagnerins@coxnet.net</p>
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### Wall Detail - Example 2

Wagner Inspection  
Services  
Contact Dale  
@  
225-2265 / 241-4741  
wagnerdp@sasktel.net



# GUIDELINES FOR PERMIT APPLICATIONS

**\*Book inspections well in advance. It is your responsibility to book inspections.**

- Fill out all parts of the permit application including the date and signature. Remember that it is a legal document and you may be delaying your construction.
- Provide the name of the general contractor with contact information.
- Provide your email address if you have one for faster approval and access of plan review.
- Provide accurate value of construction as it could affect insurance claims and has no bearing on permit fees in the case of residences, garages, decks or basement development.
- Submit two sets of drawings with your application and ensure that you build according to the drawings. You could face a stop-work order and suffer delays and added costs for having to hire a professional engineer if you deviate from original plans. (Example: When the drawing calls for a concrete foundation and you build a wood foundation or change from a wood beam to a steel one).
- Plans need to be provided by a draftsman, engineer or architect for all construction except where forms are provided for garages, decks or basement development from the municipal office. Permits will not be approved in any other manner. Hand-drawn plans will not be accepted.
- When constructing a preserved wood foundation you must have the standard or build according to an engineered design. You must contact the company designing the joists to let them know it is a wood foundation as the design is different for the joists. Failure to do this will cause you to wait for new joists.
- Submit the mechanical ventilation form if it was provided to you from the municipality. (This can be provided after approval of permit once you have decided on a mechanical contractor).
- Submit the shop and layout drawings for all engineered joists, trusses and beams. These can be provided after permit approval but before framing inspection.
- Submit a site plan and follow it. Remember that distance to property lines and other buildings is addressed in the *National Building Code* and may be different than what is allowed in a zoning bylaw. Ask your building official for clarification.
- Submit information well enough ahead of time to avoid disappointment because of delays for permit approval. (Do not expect to start next day).
- Ensure that you read the plan review, as there may be useful information and changes from original drawings.
- Ensure that you follow the inspection schedule to avoid a stop-work order or removal of material already constructed. Book your inspection well enough in advance as per schedule requirements. Remember, it is your responsibility to book inspections.
- Construction shall start within six months of permit approval and shall not be stalled for more than six months. Construction shall be completed in 12 months. Unless approved by municipal council, if any of these things happen you will need to pay for a new permit, or it may be added to your taxes.

## **CONSTRUCTION WASTE DISPOSAL**

Please be advised that Council has established the following policy in regards to building waste which results from development sites:

*All construction waste and debris from a development area which result from activities by the owner must be disposed of into a Loraas bin, which is to be kept on-site and on private property. Costs associated with the Loraas bin are the responsibility of the owner.*

Waste from construction sites will no longer be accepted at the Town's transfer station. This policy is effective November, 2007.

For your information, the Loraas phone number is 242-2300.

# **DIAL BEFORE YOU DIG**

**Water/sewer lines**

306-349-9058 or

306-232-7628

**Sask 1<sup>st</sup> Call**

1-866-828-4888

*(SaskEnergy/SaskTel/  
SaskPower/TransGas  
& other subscriber companies)*

## Interior Envelope Including Basements

All foundations shall have sufficient insulation to prevent condensation on the warm side when adjacent to exterior air or soil.

All foamed insulation such as insulated concrete foundations shall be protected with drywall.

All joist spaces above the foundation wall and all cantilevers shall have adequate insulation and a sealed vapour barrier on the warm side.

All damaged joists shall be repaired and all bridging if required shall be complete.

All blocking of joists shall be completed where interior walls parallel with the joists are more than 50 mm (2 inches) from the joists.

All heated crawl spaces shall have proper-sized access, be mechanically ventilated and be protected from radon gas.

All non-heated crawl spaces shall have natural ventilation, proper-sized access and floors above that are adjacent to heated areas shall be insulated.

The perimeter of the basement floor where it meets the foundation wall, plumbing penetrations that pass through the floor and teleposts shall have radon protection caulking. All rough openings to serve plumbing through the floor shall be sealed with a fitted lid.

All teleposts shall be anchored to the beam.

Required sump pumps shall be installed and activated.

A lighting outlet with fixture shall be provided for each 30 m<sup>2</sup> or fraction thereof of floor area in unfinished basements.

Every stairway shall be lighted.

The outlet required nearest the stairs shall be controlled by a wall switch located at the head of the stairs.

Three-way wall switches located at the head and foot of every stairway shall be provided to control at least one lighting outlet with fixture for stairways with 4 or more risers in dwelling units; however, the stairway lighting for basements that do not contain finished space or lead to an outside entrance or built-in garage and which serve not more than one dwelling unit is permitted to be controlled by a single switch located at the head of the stairs.

Chimneys, flues and service equipment shall maintain proper clearances.



All interior stairs with more than 2 risers require at least one handrail or two handrails with one on each side where stairs are wider than 1100 mm (44 inches) or on curved stairs.

All stairs, landings, balconies, ramps, raised walkways and mezzanines require railing (guards) on all sides and shall be at least 900 mm (36 inches) high.

Smoke alarms shall be hard-wired, interconnected and installed on each level.

Carbon alarms shall be properly installed whenever there is an attached garage.

Interior wall finishes shall be completed and comply with flame-spread ratings.

Finished flooring shall be provided in all residential occupancies.

Ensure that water-impermeable finished flooring is installed in bathrooms, kitchens, public entrance halls and laundry areas.

All tub-surrounds shall be installed for showers and bathtubs with showers to a height of 1.8 metres (6 feet).

Ensure there is 400 mm (16 inches) of tub-surround for bathtubs and Jacuzzi.

All countertops, backsplash, walls and floors shall be adequately caulked to protect from moisture.

All cabinets and their finish shall have adequate clearance from stoves or shall be protected.

All exhaust fans shall be installed, shall operate as designed and be vented directly to the exterior.

Mechanical ventilation shall be installed and operate according to mechanical design and design shall be provided with final inspection.

Solid burning appliances shall comply with CAN/CSA-B365-01 and be installed according to the manufacturer specifications.

Ensure all rooms used as a bedroom have a bedroom-sized window or direct access to the exterior.

Ensure that all windows are installed to resist forced entry as described in Clause 10.13 of CAN/CSA-A440.

**If any of these items are not completed or if any items do not comply with the current National Building Code of Canada there will need to be reinspections conducted with additional fees for each inspection until all items are complete.**