



DEVELOPMENT PERMIT/BUILDING PERMIT APPLICATION

THIS IS NOT A BUILDING PERMIT

Form "A"

CLASS OF WORK	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Alterations	<input type="checkbox"/> Addition	<input type="checkbox"/> Relocation	Permit Application # _____
	<input type="checkbox"/> Repair	<input type="checkbox"/> Demolition	<input type="checkbox"/> Removal	<input checked="" type="checkbox"/> Development	

PROJECT INFORMATION	Building Address (Including Unit #)	Legal Description	Value of Construction Excluding Land Value
		Lot ____ Blk/Par ____ Plan _____	\$ _____
	Proposed Use:	Estimated Development Dates	
	Basement Development <input type="checkbox"/> Yes <input type="checkbox"/> No Detached Garage <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Deck <input type="checkbox"/> Yes <input type="checkbox"/> No Fireplace <input type="checkbox"/> Yes <input type="checkbox"/> No	Start: _____ Completion: _____
Other information:			

Please list all existing structures on the site ie. Houses, garages, sheds, decks or other structures

APPLICANT	Applicant Name:	Company Name:
	Mailing Address:	
	Town/City	Province
	Contact Number(s):	Email Address:
	Home: _____ Cell: _____	

OWNER	Owner Name or Same as Applicant <input type="checkbox"/> Yes	Company Name:
	Mailing Address:	
	Town/City	Province
	Contact Number(s):	Email Address:
	Home: _____ Cell: _____	

CONTRACTOR	Contractor Name or Same as Applicant <input type="checkbox"/> Yes	Company Name:
	Mailing Address:	
	Town/City	Province
	Contact Number(s):	Email Address:
	Home: _____ Cell: _____	

Application will not be processed if site plan and two sets of drawings are not attached Site plan attached <input type="checkbox"/> Yes <input type="checkbox"/> No Drawings attached <input type="checkbox"/> Yes <input type="checkbox"/> No	Office Use Only Percent of Land Occupied: _____ Fee for Building Permit: _____ Fee for Development Permit: _____ Total Amount Owng: \$ _____ Roll # _____
Return form to: Town of Rosthern - Box 416, Rosthern, SK S0K 3R0 OR townoffice@rosthern.com	

I hereby agree to comply with the Building & Zoning Bylaws of the Town of Rosthern and acknowledge that it is my responsibility to ensure compliance with these and any other applicable bylaws, provincial acts & regulations regardless of any plan review or inspections that may or may not be carried out by the Town of Rosthern or its authorized representative. I agree to do all construction work solely in accordance & compliance with the information plans provided by me in this application, & will obtain all other work permits required in conjunction with my development. I hereby declare that the above information is true and correct.

Applicant Signature

Date

Detached Garage Specifications for:

Permit # _____
Town _____ of _____
Date: _____

Wagner Inspection Services
Contact Dale @
225-2265 / 241-4741
wagnerdp@sasktel.net

Name: _____
Address: _____
Legal Land Location: _____
Phone: _____ Fax: _____
Contractor: _____ Phone: _____

Specifications

Foundation (grade beam & piles) or Slab (Page 3)

Slab dimensions: _____ wide x _____ long
Slab thickness overall _____ perimeter _____ (See page 3 for detail)
Type of base _____

Walls

Size & spacing of studs: _____
Size, type & spacing of anchor bolts: _____
Wall/building height to eave: _____ Type of siding: _____
Thickness & type of wall sheeting: _____
Insulation & barrier: Yes _____ No _____
Inside finish: _____ None _____

***Size of each vehicle door:** Door #1 - Opening width _____ & Header size _____ ply of 2" x _____
Door #2 - Opening width _____ & Header size _____ ply of 2" x _____ Door #3 - Opening width _____ & Header size _____ ply of 2" x _____
***Size of windows/man doors & header:** 1. - Opening width _____ & Header size _____ ply of 2" x _____
2.- Opening width _____ & Header size _____ ply of 2" x _____ 3. - Opening width _____ & Header size _____ ply of 2" x _____

**Note door/window openings on attached sketch, page 2.*

Roof

Engineered trusses by: _____
Spacing of trusses: _____ & overhang: _____
Type of shingles: _____
Ceiling finish: _____
Insulation: _____

Other

Heating: _____
Electrical: _____
Pit or Hoist: _____
Recommend eavetroughs and downspouts

Site Plan (on the reverse side show the following) :

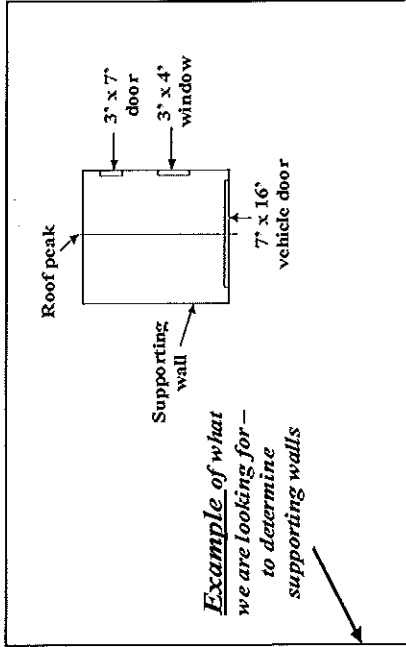
- 1. Lot dimensions & lot shape
- 2. Garage location and set backs from lot lines
- 3. All existing buildings, their dimensions & distance to garage.
- 4. Location of easements, retaining walls & driveways

Roof Layout

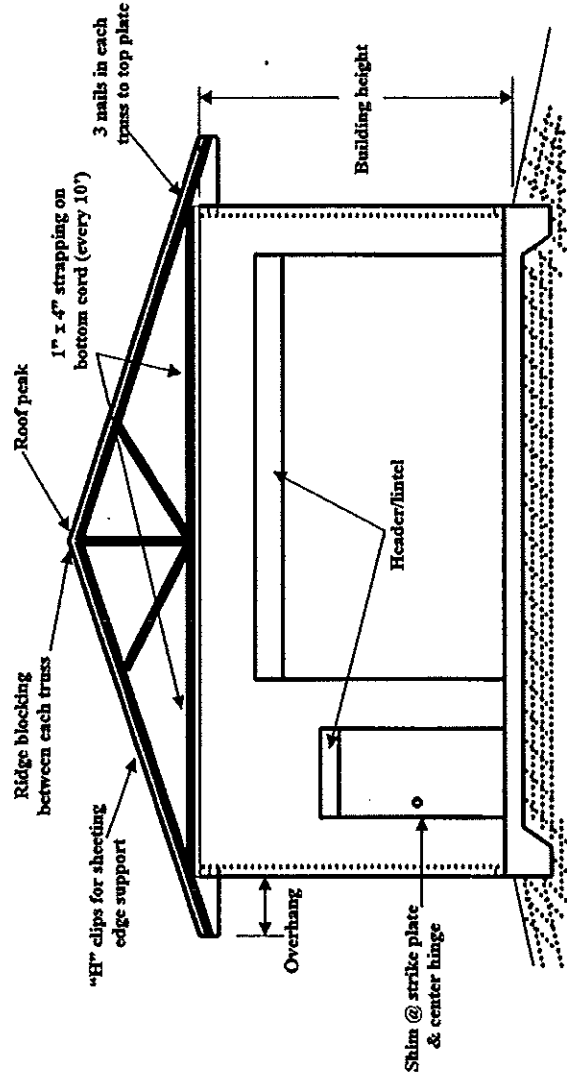
Indicate the location & *size of all doors and windows* and the direction of the roof peak in the drawing below:

Make sure to include a site plan along with permit application

Services
 Contact Dale
 @
 225-2265 / 241-4741
 wagnerdp@sasktel.net



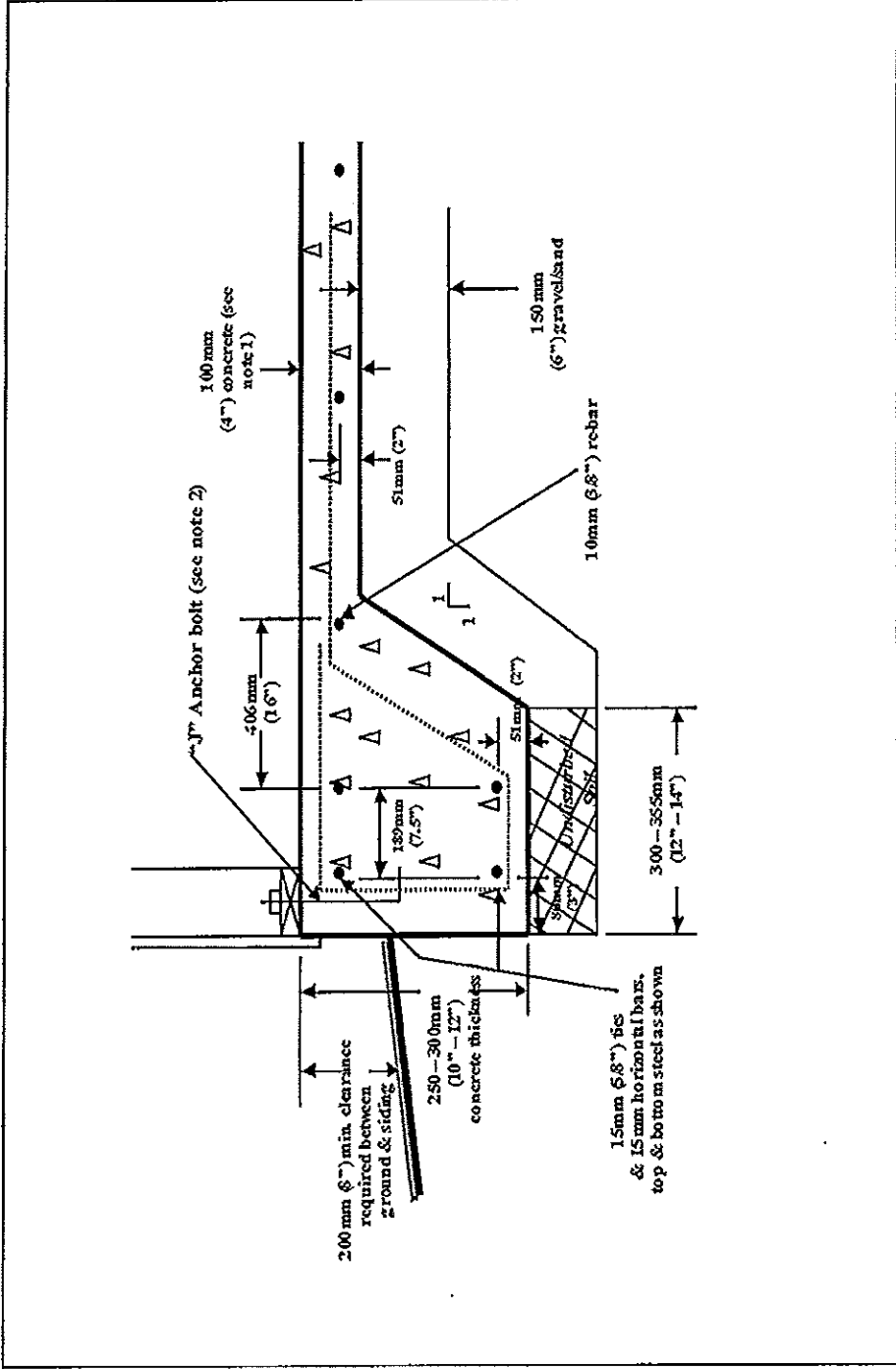
Note: venting & attic hatch required if insulating



For builder's
information only

Recommended Reinforced Thickened Edge Concrete Slab

Wagner Inspection
Services
Contact Dale
@
225-2265 / 241-4741
wagnerdp@sasktel.net



Notes:

1. 102mm (4") thick reinforced concrete slab with 10mm (3/8") dia re-bar at 406mm (16") on center each placed on:
 - 1a. 6 mil poly cover and (as per CGS B51.34M)
 - 1b. 152mm (6") deep compacted gravel base.
2. Around the perimeter place 12.7, (1/2") x 203mm (5") anchor bolts or equivalent at 900mm to 1200mm (36" to 48") spacing

GUIDELINES FOR PERMIT APPLICATIONS

***Book inspections well in advance. It is your responsibility to book inspections.**

- Fill out all parts of the permit application including the date and signature. Remember that it is a legal document and you may be delaying your construction.
- Provide the name of the general contractor with contact information.
- Provide your email address if you have one for faster approval and access of plan review.
- Provide accurate value of construction as it could affect insurance claims and has no bearing on permit fees in the case of residences, garages, decks or basement development.
- Submit two sets of drawings with your application and ensure that you build according to the drawings. You could face a stop-work order and suffer delays and added costs for having to hire a professional engineer if you deviate from original plans. (Example: When the drawing calls for a concrete foundation and you build a wood foundation or change from a wood beam to a steel one).
- Plans need to be provided by a draftsman, engineer or architect for all construction except where forms are provided for garages, decks or basement development from the municipal office. Permits will not be approved in any other manner. Hand-drawn plans will not be accepted.
- When constructing a preserved wood foundation you must have the standard or build according to an engineered design. You must contact the company designing the joists to let them know it is a wood foundation as the design is different for the joists. Failure to do this will cause you to wait for new joists.
- Submit the mechanical ventilation form if it was provided to you from the municipality. (This can be provided after approval of permit once you have decided on a mechanical contractor).
- Submit the shop and layout drawings for all engineered joists, trusses and beams. These can be provided after permit approval but before framing inspection.
- Submit a site plan and follow it. Remember that distance to property lines and other buildings is addressed in the *National Building Code* and may be different than what is allowed in a zoning bylaw. Ask your building official for clarification.
- Submit information well enough ahead of time to avoid disappointment because of delays for permit approval. (Do not expect to start next day).
- Ensure that you read the plan review, as there may be useful information and changes from original drawings.
- Ensure that you follow the inspection schedule to avoid a stop-work order or removal of material already constructed. Book your inspection well enough in advance as per schedule requirements. Remember, it is your responsibility to book inspections.
- Construction shall start within six months of permit approval and shall not be stalled for more than six months. Construction shall be completed in 12 months. Unless approved by municipal council, if any of these things happen you will need to pay for a new permit, or it may be added to your taxes.

CONSTRUCTION WASTE DISPOSAL

Please be advised that Council has established the following policy in regards to building waste which results from development sites:

All construction waste and debris from a development area which result from activities by the owner must be disposed of into a Loraas bin, which is to be kept on-site and on private property. Costs associated with the Loraas bin are the responsibility of the owner.

Waste from construction sites will no longer be accepted at the Town's transfer station. This policy is effective November, 2007.

For your information, the Loraas phone number is 242-2300.

DIAL BEFORE YOU DIG

Water/sewer lines

306-349-9058 or
306-232-7628

Sask 1st Call

1-866-828-4888

*(SaskEnergy/SaskTel/
SaskPower/TransGas
& other subscriber companies)*

FINAL INSPECTION CHECKLIST

Exterior

All items from previous inspections shall be completed.

Exterior grade sloped away from foundation and ensure there are no voids.

The eavestrough, downspouts and erosion protection shall be installed.

The exterior finish, soffit, fascia, flashing and roofing shall be complete. Stucco final coat shall be installed. The air barrier shall not be considered exterior cladding and shall not be exposed to UV rays for more than 120 days.

All penetrations through vinyl siding or all exterior cladding shall be sealed with caulking to prevent moisture into building envelope.

An exhaust outlet that does not incorporate a backdraft damper located at the building envelope shall incorporate a screen located at the building envelope to protect against the entry of animals.

Air intakes shall be clearly labelled as such for identification from locations outside the dwelling unit.

Intake openings shall be located so as to avoid contamination of the ventilation air from other local sources such as automobile exhaust and exhaust from the building or adjacent buildings.

Per SaskPower "Code of Practice Code" reference: Appliance Vent Termination 8.14.8.(c) A vent shall not terminate less than 1.8 meters (6 feet) within a mechanical air-supply inlet.

The distance separating air intakes from building envelope penetrations that are potential sources of contaminants, such as gas vents or oil fill pipes, shall be not less than 900 mm.

The distance from the bottom of an air intake opening to finished ground or to any nearer and lower permanent horizontal surface shall be not less than 450 mm or the depth of expected snow accumulation, whichever is greater.

Where air intake and exhaust openings are in exposed locations, provision shall be made to protect them from the entry of precipitation by the use of louvers, weather cowls or other suitable protection.

All exterior stairs and ramps shall be completed and have railing (guards) with the appropriate handrails.

All decks shall be complete with appropriate railing (guard) and railing with handrails of stairs from decks. All openings in railing shall comply with the current National Building Code of Canada and railing shall not be climbable.

Deck joists shall be bridged or strapped at 7-foot spacing.

All wood within 150 mm (6 inches) shall be pressure-treated or protected and separated per the current National Building Code of Canada.

Ensure that if a bedroom window opens into a window well that there is 550 mm clearance in front of the window.

All doors opening to future decks shall be guarded or disabled to not open.

All exterior doors and door from house to attached garage shall have deadbolts.

The main entrance door to house shall be transparent glazing, or transparent glazing in sidelight or a door viewer.

Attached Garages

The attached garage shall have an effective fume barrier to the house including bonus rooms.

In event that garage has stairs with more than 2 risers or a ramp it shall have railing (guard) and a handrail. Doors shall open on a landing.

The door to the house shall be well-fitting with weatherstripping and a self-closer that has been adjusted properly to close.

The garage shall not be heated with an appliance that is serving the dwelling.

A lighting outlet with fixture shall be provided for an attached, built-in or detached garage or carport and the lighting outlet shall be controlled by a wall switch near the doorway.

The house and garage roof space shall have a proper-sized access that is weatherstripped.